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Drane Intermediate 2

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Drane Intermediate



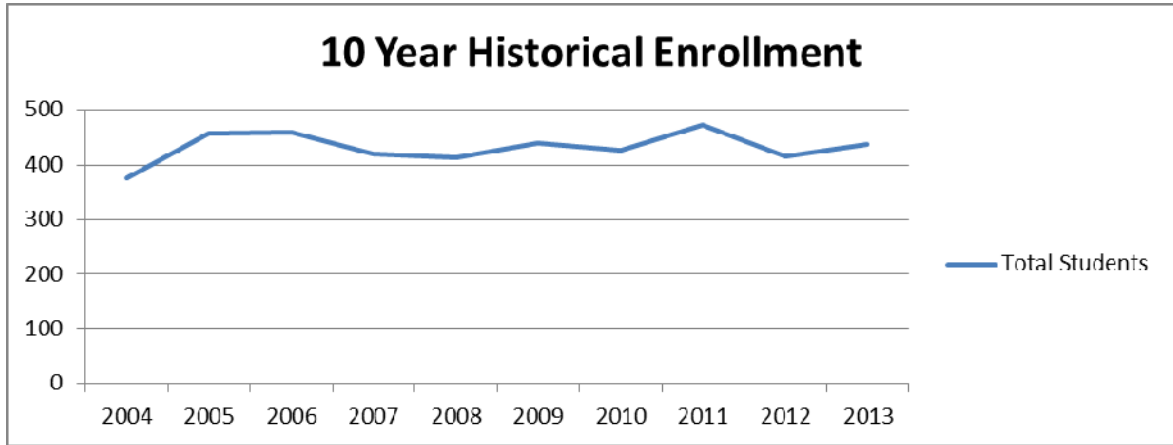
General comments, campus capacity, and student demographics:

The Drane Intermediate campus was originally constructed in 1923. The campus is comprised of 91,700 square feet and rests on approximately 7.2 acres. There are currently 414 students enrolled, 6th grade only, and 55 staff. The buildings are generally in good condition, but due to their age there are pressing maintenance and repair issues that need to be addressed.

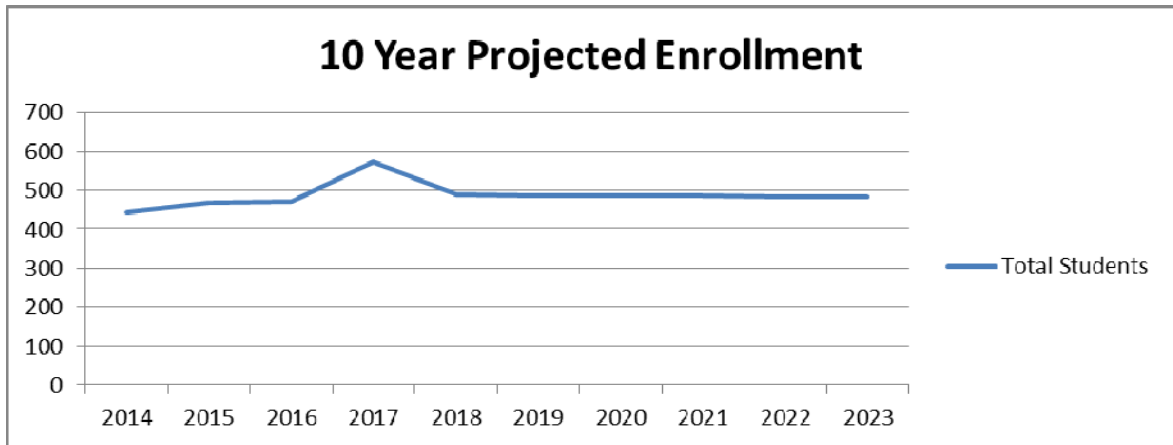
Current Enrollment:	Pre-K	0
	Kinder	0
	1st	0
	2nd	0
	3rd	0
	4th	0
	5th	0
	6th	414
	Total:	414

# of Permanent Classrooms:	26	<i>(excludes science and PC labs, and specialized learning areas)</i>
Maximum # of Students per Classroom:	25	
Maximum # of Students - Campus:	650	<i>(without utilization factor)</i>
Utilization Factor:	0.95	<i>(to allow enrollment and program fluctuation)</i>
Adjusted Campus Capacity:	618	
# of Students Over Capacity:	N/A	
% Capacity:	67%	

10 Year Historical Enrollment										
Grade	2004	2005	2006	2007	2008	2009	2010	2011	2012	2013
6th	377	457	459	419	414	440	426	472	415	438
Total	377	457	459	419	414	440	426	472	415	438
Growth %	N/A - Base Year	21.22%	0.44%	-8.71%	-1.19%	6.28%	-3.18%	10.80%	-12.08%	5.54%
Student Growth	N/A - Base Year	80	2	(40)	(5)	26	(14)	46	(57)	23



10 Year Projected Enrollment										
Grade	2014	2015	2016	2017	2018	2019	2020	2021	2022	2023
6th	442	466	472	572	488	487	486	485	484	483
Total	442	466	472	572	488	487	486	485	484	483
Growth %	0.90%	5.55%	1.14%	21.27%	-14.67%	-0.23%	-0.23%	-0.23%	-0.23%	-0.23%
Student Growth	4	25	5	100	(84)	(1)	(1)	(1)	(1)	(1)



1.0 School Site

Topography and Drainage

- Ground slopes to building in several areas, storm drain may be clogged.



- Erosion along sidewalk.



Parking and Drives

- Additional parking spaces should be provided for staff and students.
- Additional pole lighting should be provided in the parking area for increased security after dark.

Area	Regular Spaces	ADA	Van Accessible	Surface Type	Surface Condition	Striping Condition	Lighting
South	63	4	1	Asphalt	Poor	Poor	Fair
Total	63	4	1				
Total recommended/required	76	3	1				
Difference +/-	(13)	+ 1	+ 0				

Parking based on: 55 Staff
414 Students

- Asphalt surfaces are in poor condition; due to conditions, seal coating the asphalt would be a poor investment. Recommend rebuilding the parking areas within the next 2 years.



2.0 Building Systems and Components

ADA Accessibility

- Many doors have knobs in lieu of lever hardware in all buildings.
- No ADA restrooms provided for staff; no sinks in student restrooms are completely ADA accessible.
- Rear bar needed in ADA stall of girls' restroom on A Floor.
- Exterior ramp leads to door entry that is not accessible due to interior steps.



- Side walk cross slope is approximately 8%, 2% maximum needed.



Roofs

- Roofs on Main building and Cottage are built-up gravel; the Gym roof is built-up gravel and elastomeric roofing. The roofs are 20+ years old and are in fair condition; the roofs have reached the end of their expected life cycle and replacement should be budgeted for in the next five years.
- Typical roof condition.



- Mastic is cracked where old roof cap ties into new roof cap.



- Gap in parapet wall cap.

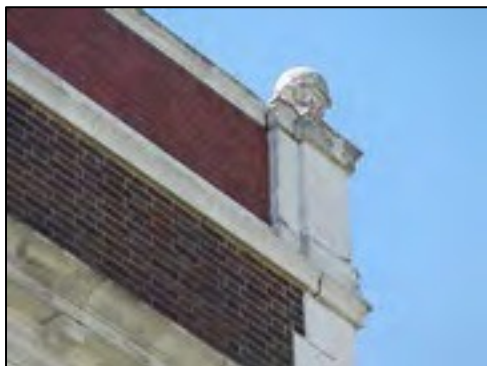
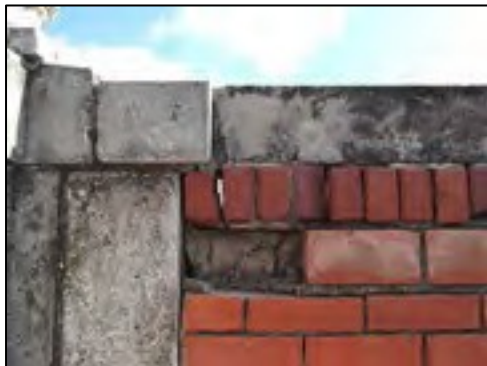


- Trees growing over and against roof lines of Cottage should be trimmed at least 6 feet from the building.



Foundations

- Brick cracks, mortar failure, and cracks in stonework were observed in several areas. These do not appear significant or to be increasing at this time, however larger cracks should be promptly and properly repaired to prevent excess moisture penetration through the walls. The cracks should be monitored and addressed immediately if movement begins to occur.



Building Envelope

- Windows in all buildings except north side of Main building are inefficient single pane and caulk and glaze is failing. Building expansion joint caulk is failing or beginning to fail at all buildings.
- Broken window glass at several locations.

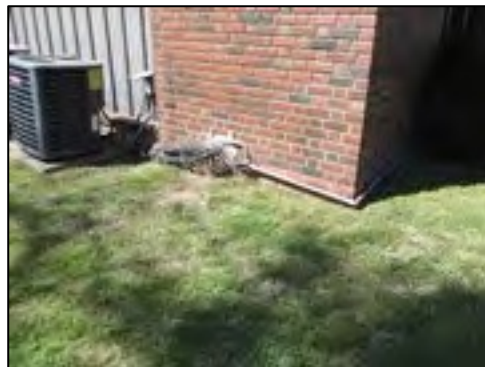


Electrical, Communications, and Data Infrastructure

- In many classrooms extension cords are being used for permanent power connections.
- Exposed exterior data cable should be placed inside conduit for better protection.
- Survey reported breakers tripping in Gym and teachers' lounge.
- Missing knock-out plug in electrical box.



- Conduit has missing covers, exposing the electrical wires.



- Open electrical panels on building and on roof.



- EMT conduit on or close to the ground (not rated for contact); also open disconnect for AC cover is missing and inside panel is bent.



- EMT conduit in contact and supported by concrete.



Drinking Fountains

- One fountain in A Hall and one at Gym were broken.
- At least half of all fountains in each location should be ADA accessible.

Location	Quantity	ADA
A Ha II	3	1
B Ha II	3	1
C Ha II	3	1
Gym	2	0
Totals	11	3
+ / (-) Recommended *	+ 7	(3)

Restrooms

Student

Campus/Location	Boys Commodes	ADA Boys Commodes	Urinals	Sinks	ADA Sinks	Girls Commodes	ADA Girls Commodes	Classroom/Unisex Commodes	ADA Classroom/Unisex Commodes
A Floor	3	1	7	6	0	3	1		
B Floor	3	0	7	5	0	2	1		
C Hall	2	1	7	4	0	4	1		
Gym	2	0	8	6	0	2	0		
Gym	1	0	4	2	0	2	0		
Totals	11	2	33	23	0	13	3	0	0
+ / (-) Recommended	+ 1		+ 19	+ 13		+ 1			

Staff

Campus/Location	Men's Commodes	ADA Men's Commodes	Urinals	Sinks	ADA Sinks	Women's Commodes	ADA Women's Commodes	Unisex Commodes	ADA Unisex Commodes
A Floor				1	0			1	0
B Floor				1	0			1	0
C Hall				1	0			1	0
Office				1	0			1	0
Cottage				1	0			1	0
Totals	0	0	0	5	0	0	0	5	0

Exterior Windows, Doors, and Walls

- Most exterior painted finishes at all buildings are in fair-to-poor condition and are in need of repair and repainting.
- Holes in Gym soffit; soffit panels may contain asbestos.



- Lentil rusted above window frames.

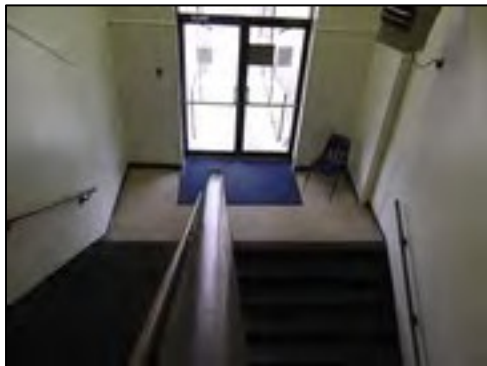


Flooring

- Carpeting in Main Building is in fair condition; carpet should be replaced within the next 5 years. When the existing carpet is replaced, it should be replaced with carpet tiles to allow small stained or damaged areas to be replaced without replacing entire areas.
- VCT floor tile damaged in cafeteria, may be some cracks/movement in foundation.



- Damaged floor tile on stair landing.



- Carpet seams in room C111.



- Hole in gym floor.



Interior Doors, Cabinets, Ceilings and Walls

- Interior painted surfaces are in fair-to-poor condition in all buildings; interior surfaces should be repainted in the next 3 years.
- 2'x4' ceiling tile in the Main Building and Cottage is in fair-to-poor condition and should be replaced within the next 5 years.
- Carpeted wall sections in cafeteria are ripped and the sheetrock subsurface is damaged.



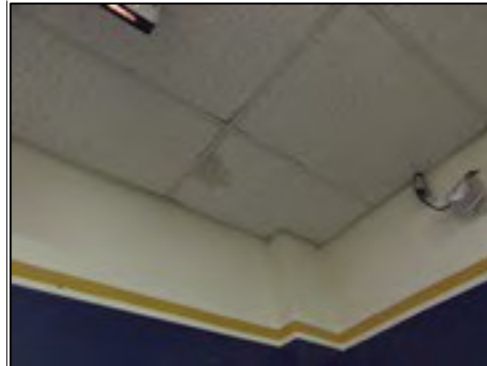
- Base board detaching from wall in room A101.



- Plywood wall delaminating east stairwell between floors B and C.



- Ceiling tiles sagging and drooping, and ceiling tile stains.



- Wall pushing into classroom A106.



- Paint flaking in girls' restroom.

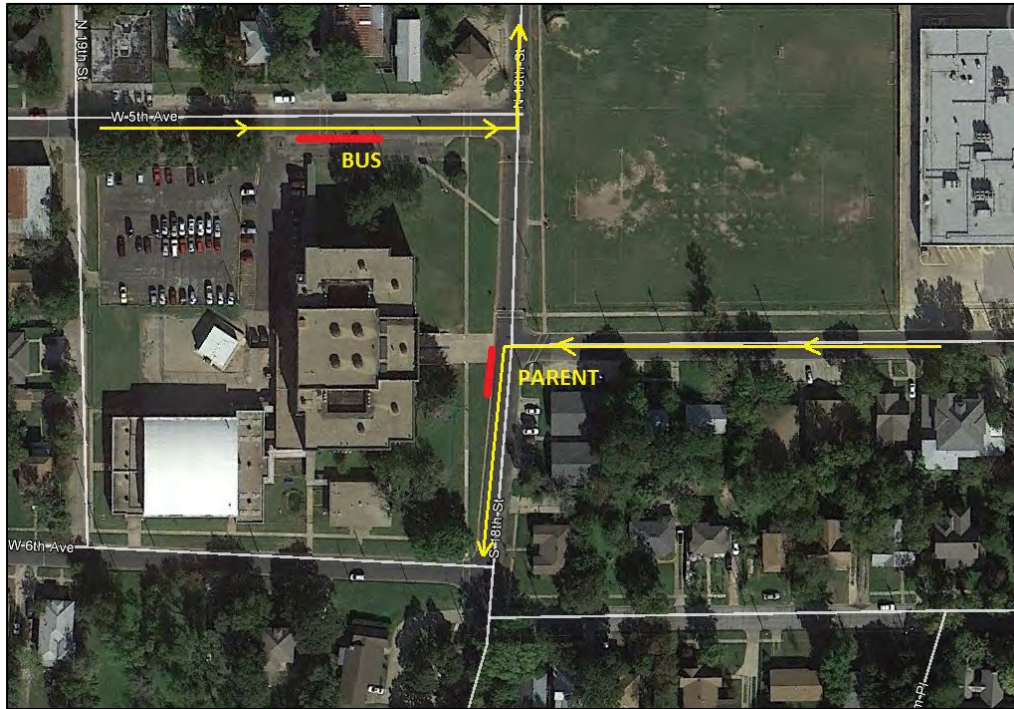


- Boys' restroom Hall B has damaged wall and stall door.



3.0 Building Safety and Security

Student Loading Areas



- Canopies should be provided at all student loading areas to provide protection from weather.
- Parent loading for drop-off and pick-up on east side of campus backs up, especially during afternoon pick-up. Afternoon parent and bus pick-up traffic takes approximately 15-30 minutes to disperse. Some parents circumvent the pick-up lines by parking on the streets, and crossing parent and bus lanes to pick-up their children and walk them back; this creates additional safety hazards.

Playgrounds and Athletic Field Equipment

- Playfield is across street; city allows street to be closed during the day to allow safe student passage across street.
- Field crown is poor and does not have good drainage.



Campus Security Systems

- The campus is in need of security upgrades, including a secure vestibule at the main entrance of the campus, secure fencing and gates around the entire campus, the addition of security cameras at the interior and exterior, and door locks that lock from the inside with a key for all buildings (where lacking).

Life Safety Systems

- The campus does not have adequate emergency lights for safe egress.
- Recommend addition of strobes, pull stations, and additional smoke detectors to the fire alarm system.

4.0 Educational Adequacy

Size of Academic Learning

- Many classrooms do not meet current TEA space requirements of 700 square feet minimum for 6th grade students.

Specialized Learning Areas

- Eight specialized classrooms (Speech, Dyslexia, ESL, Reading lab, Content Mastery, and three Special Ed/Life Skills).

Library/Resource/Media Center

- Library does not meet TEA recommended size.

# of students	414
Total sq. ft.	2,196
TEA recommended sq. ft.	2,656
+ / (-) TEA recommended	(460)
Meets TEA recommended	No
Storage sq. ft.	0
Media Center sq. ft.	0
Office sq. ft.	550
Work Room sq. ft.	0
Age appropriate	Yes

Gymnasium, Athletic Facilities, P.E. Areas

- Gym is 8,960 square feet of playing surface.
- No ADA access at locker room plumbing fixtures.

Science

- The science classrooms do not meet the current TEA requirement of 1,200 square feet.

Room	Classroom sq. ft.		# of stations	Max # of students	Eye Wash/Shower	Storage Square Feet
	Actual	+ / (-) TEA				
A104	727	(473)	24	18	0/0	Adequate
B103	923	(277)	24	22	0/0	Adequate
C105	923	(277)	24	22	0/0	Adequate

Band, Choir and Music Program

- Band hall is 1,423 square feet. Storage is limited and acoustics are poor.
- Only practice room is in Cottage.

Art

- Art room A111 is 1,318 square feet, has 50% VCT and 50% carpet floor, 1 sink, and adequate storage.

Computer Labs

Room	Square feet	+ / (-) TEA 900 sq. ft. requirement	Max # of PC's *	Current # of PC's	PC's + / (-) TEA requirement
A105	995	+ 95	28	45	+ 17
C111	964	+ 64	27	33	+ 6

Cafeteria and Kitchen

- Walk-in cooler/freezer is located outside of the cafeteria.



- The kitchen is undersized for current number of meals served.

Cafeteria - Seating Area				Serving Area			
Square Feet - Actual	Square Feet - Recommended *	Square Feet + / (-) Recommended	Seating Capacity	Square Feet - Actual	Square Feet - Recommended **	Square Feet + / (-) Recommended	# of Serving Lines
3,480	1,920	+ 1,560	192	226	96	+ 130	+ 2

* 10 square feet per seat

** ½ a square feet per seat

Kitchen					Lunch Periods		
Square Feet - Actual	Square Feet - Recommended ***	Square Feet + / (-) Recommended	Storage	Average Daily Meals Served	# of Lunch Periods	Begins at:	Ends at:
1,016	2,030	(1,014)	Adequate	580	?		

*** 3 ½ square feet per meal served

Nurse's Clinic

- Consideration should be made during future renovation or expansion to provide a nurse's office clinic meeting the minimum size recommendation by CEFPI of 500 square feet.

Square Feet	+ / (-) recommended	# of Sick Beds / Private	# of Restrooms	Sink	Secure Storage	Near front office
243	(257)	1/No	0	No	Yes	No